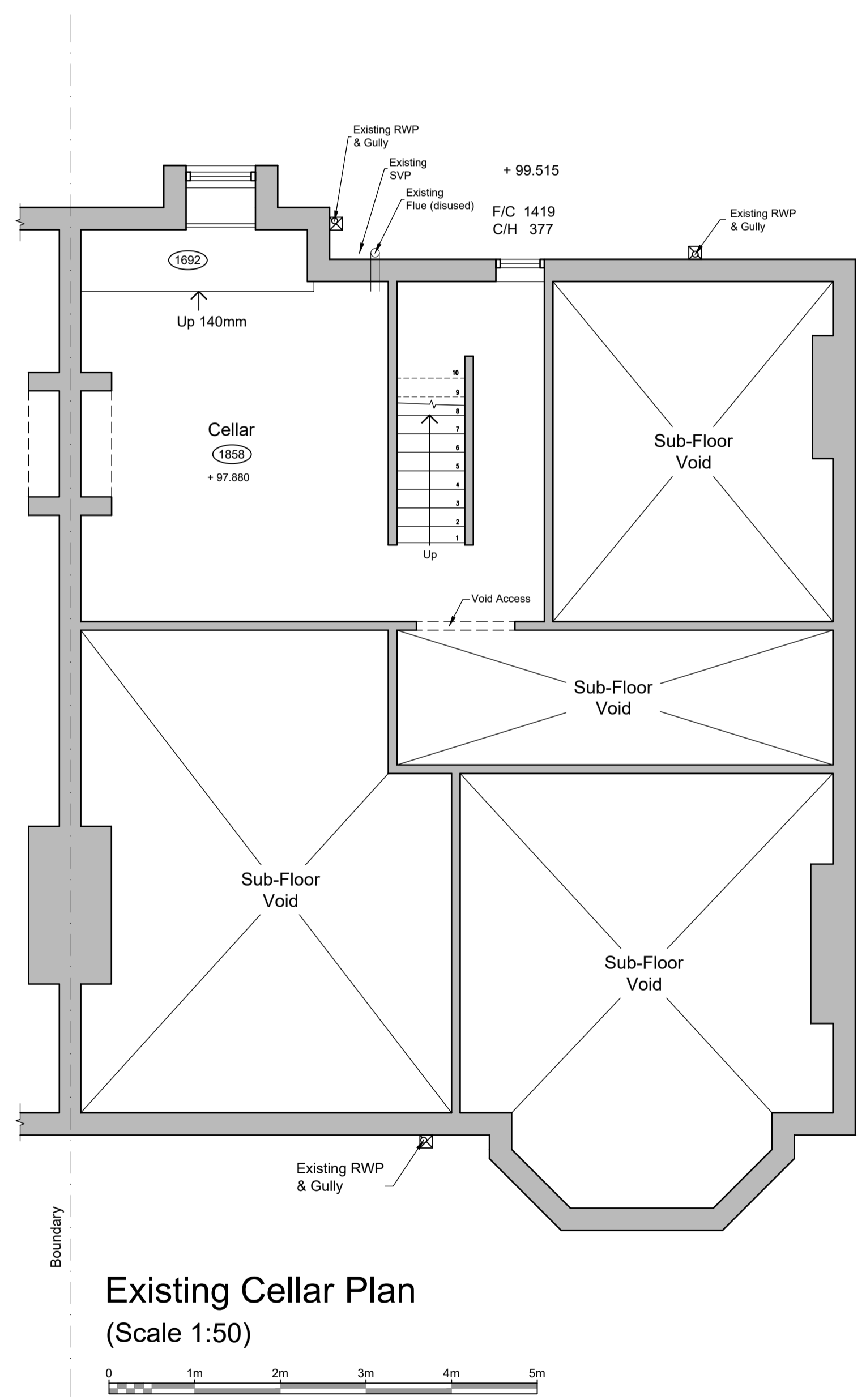
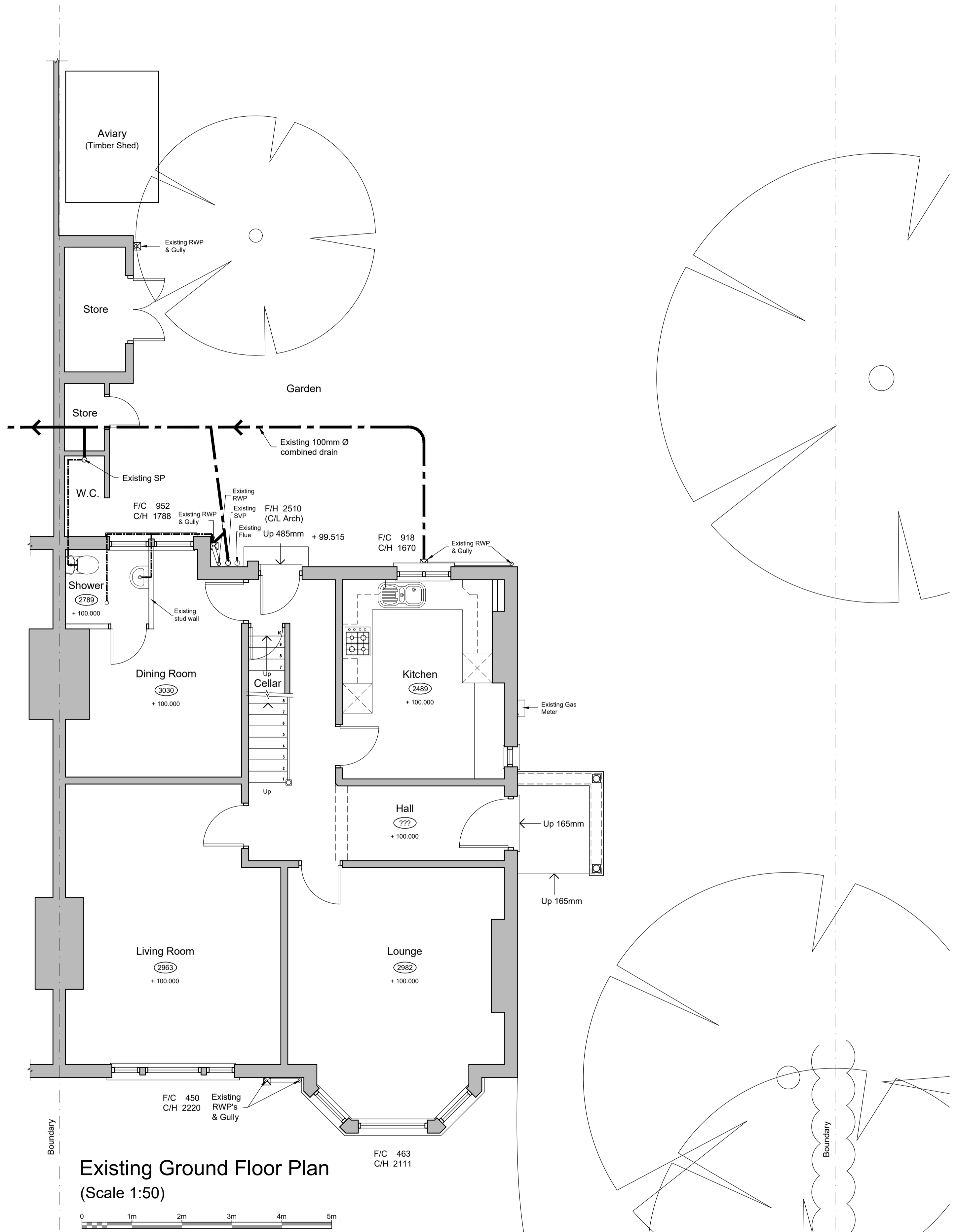


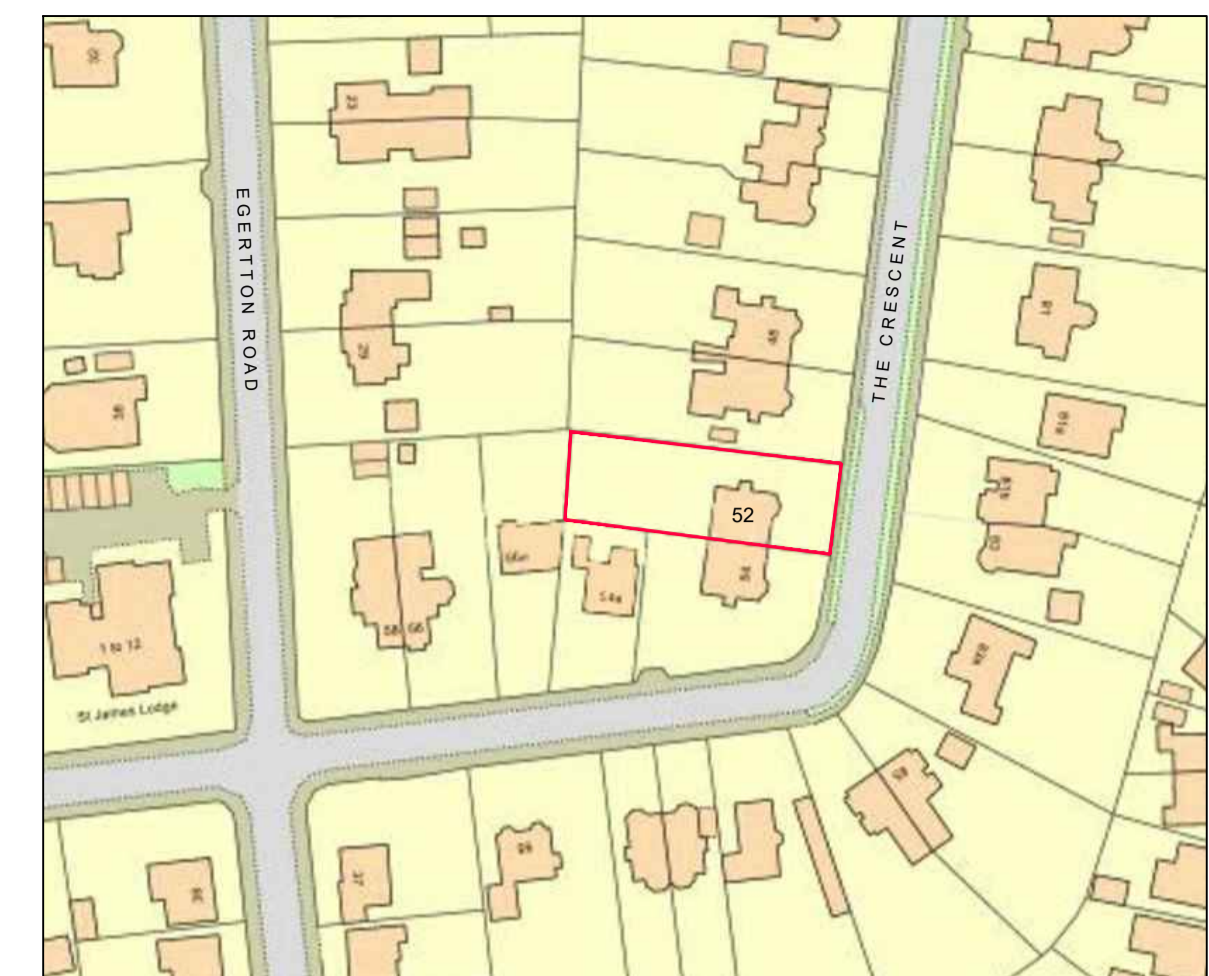
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Existing Cellar Plan  
(Scale 1:50)



Existing Ground Floor Plan  
(Scale 1:50)



Location Plan Scale 1:1250

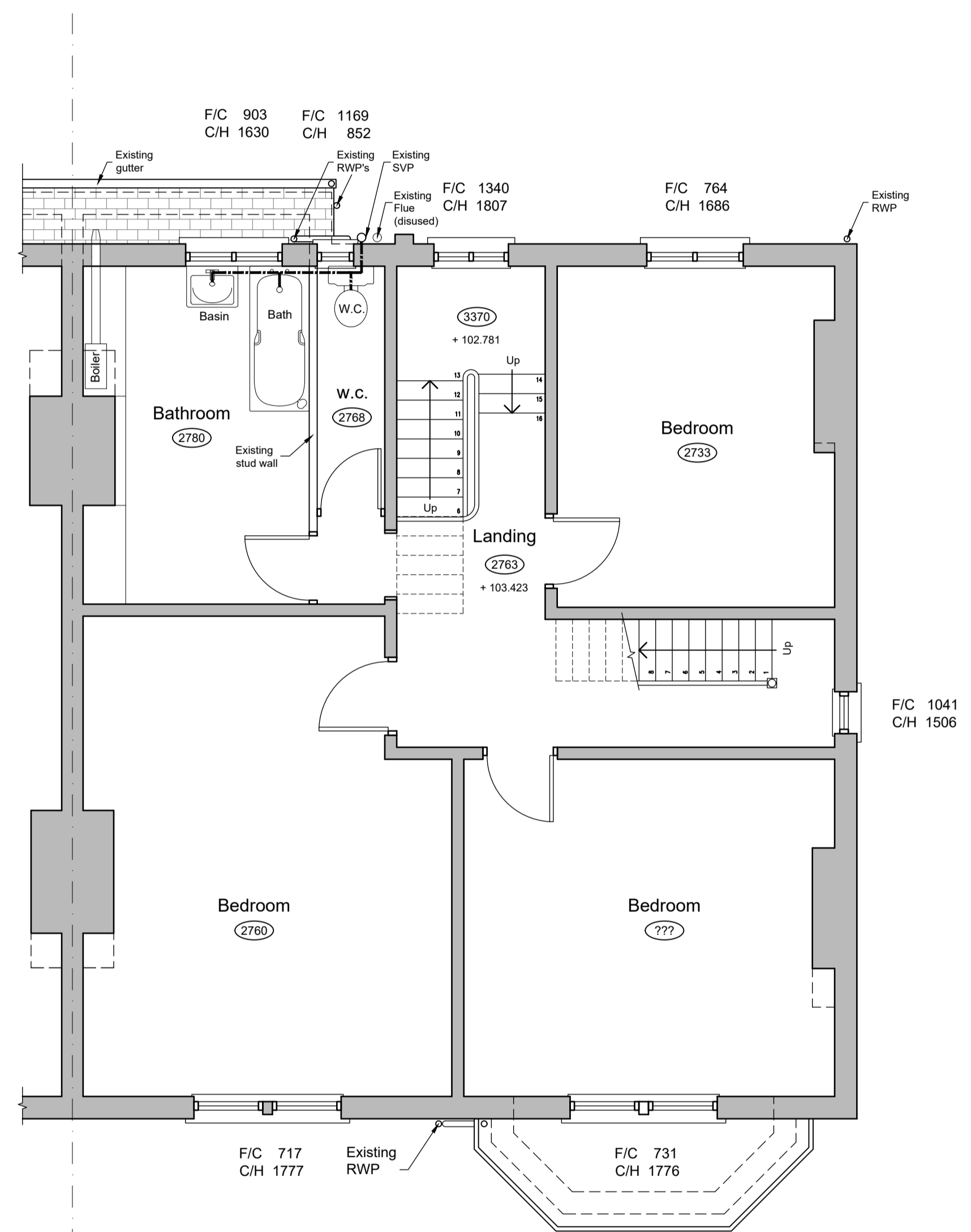
# BUILDING CONTROL DRAWING

Rev. A 14/02/2019 Existing below ground drainage added

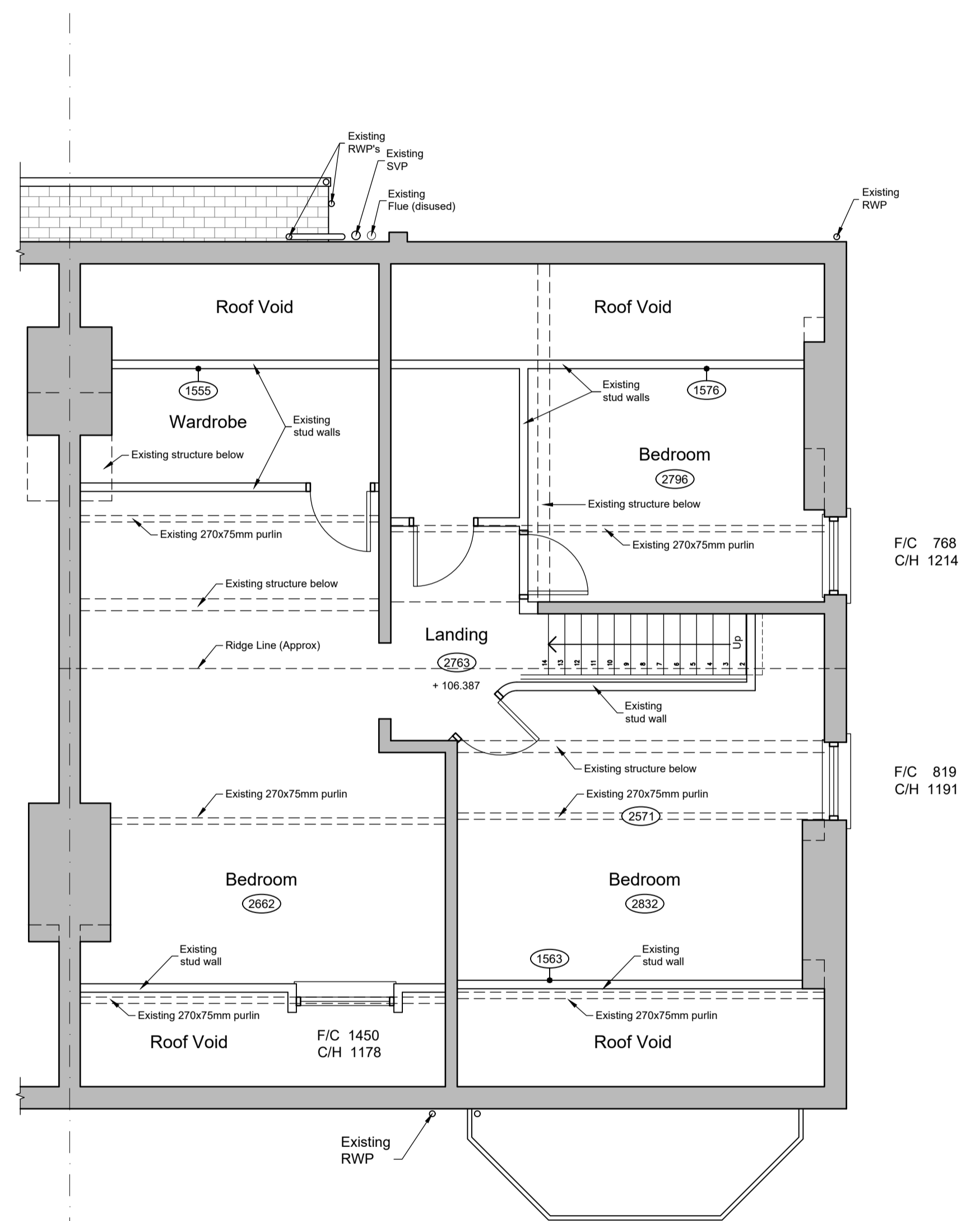
	PROJECT: Proposed single storey rear extension at -	John Elliott Architectural Services 148 King Street Dukinfield Cheshire SK16 4TH
	Davenport Cheshire	DRAWING: Existing Cellar and Ground Floor Plans and Location.

SCALE: 1:50 @ A1	DATE: 21.04.18.	DRAWING NO: 1802-01	REVISION: A	Mobile: 07821938400 johnelliott@architecturalservices.org.uk
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Existing First Floor Plan  
(Scale 1:50)

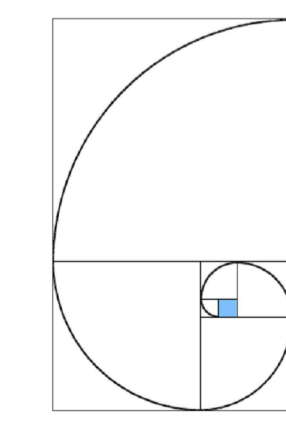


Existing Second Floor Plan  
(Scale 1:50)



# BUILDING CONTROL DRAWING

Rev.



PROJECT:  
Proposed single storey rear extension at:  
-  
Davenport  
Cheshire

DRAWING:  
Existing First and Second Floor Plans.

John Elliott Architectural Services  
148 King Street  
Dukinfield  
Cheshire  
SK16 4TH

Mobile: 07821938400

johnelliott@architecturalservices.org.uk

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Existing Front Elevation (East)  
(Scale 1:50)



Existing Rear Elevation (West)  
(Scale 1:50)



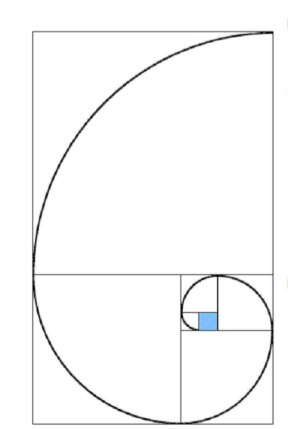
Existing Side Elevation (North)  
(Scale 1:50)

**BUILDING CONTROL DRAWING**

Rev.

PROJECT: Proposed single storey rear extension at: -  
Davenport  
Cheshire

John Elliott Architectural Services  
148 King Street  
Dukinfield  
Cheshire  
SK16 4TH



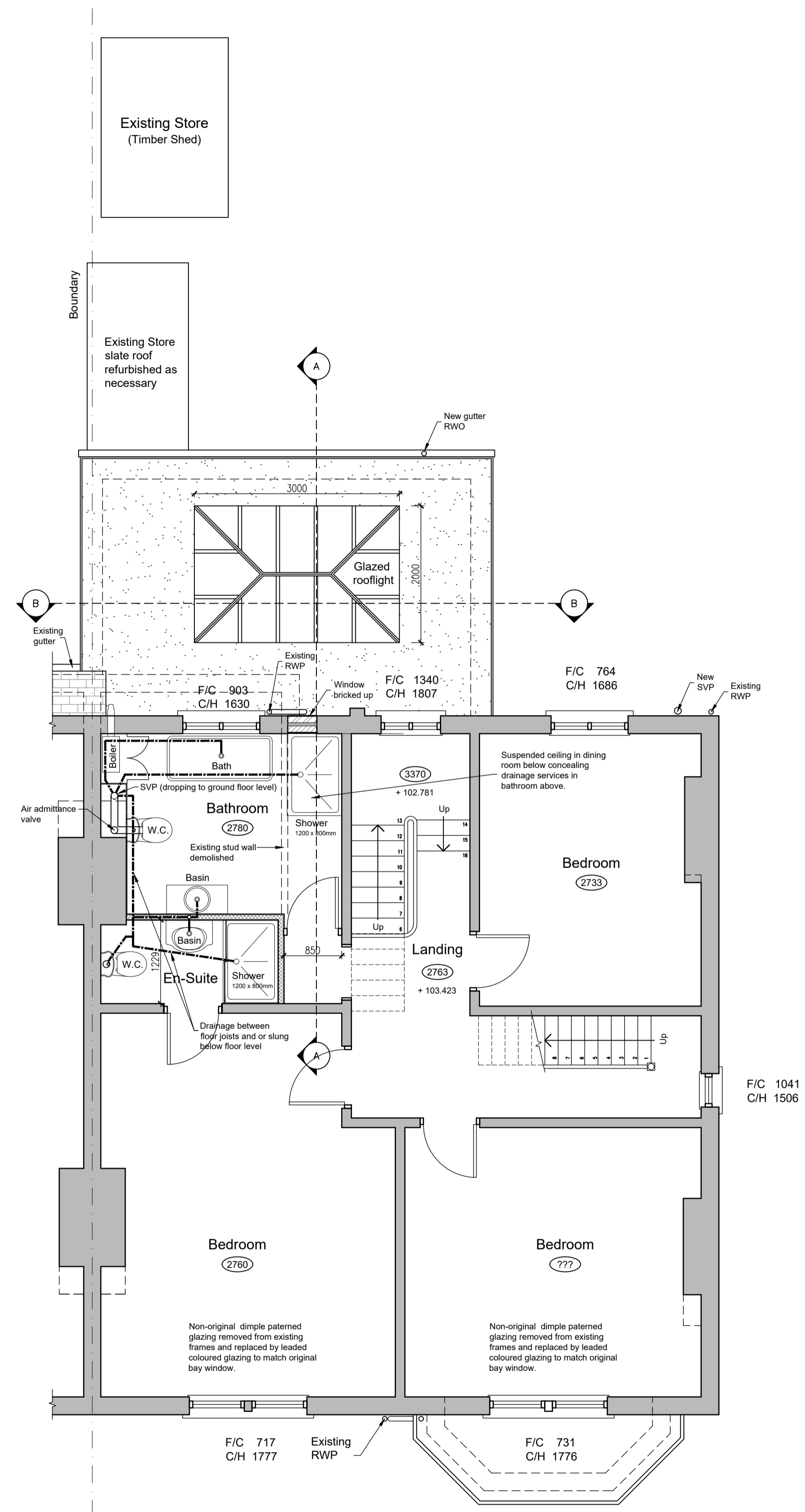
DRAWING: Existing Elevations

SCALE:	DATE:	DRAWING NO:	REVISION:
1:50 @ A1	21.01.18.	1802-03	

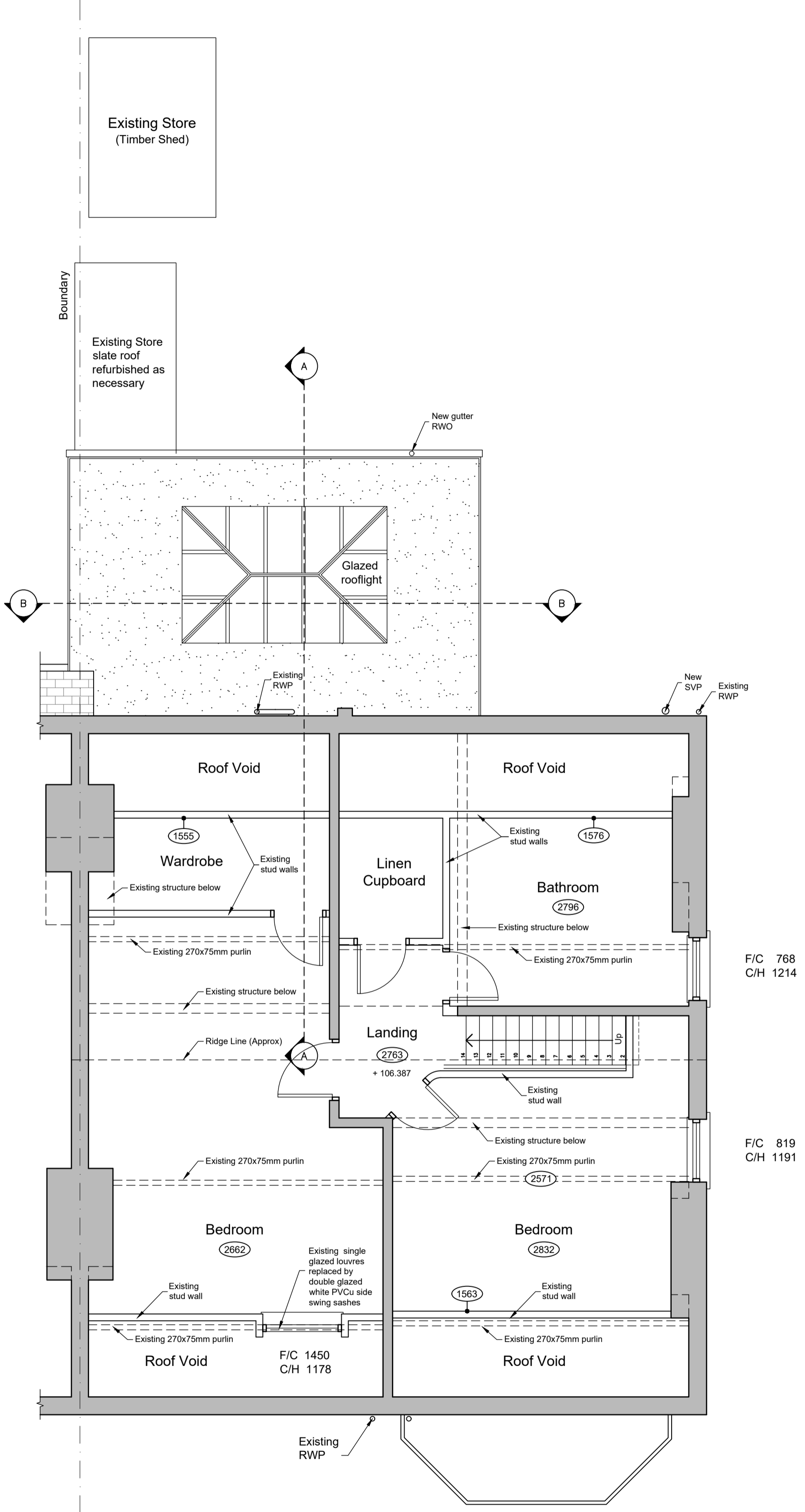
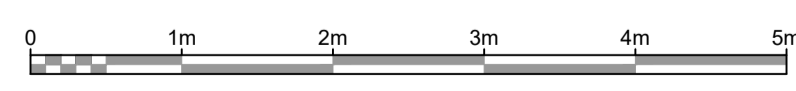
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johnelliott@architecturalservices.org.uk



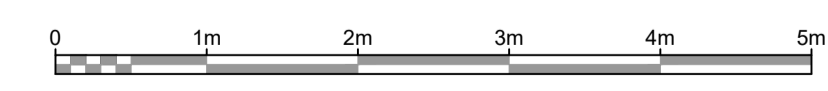
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**Proposed First Floor Plan**  
(Scale 1:50)

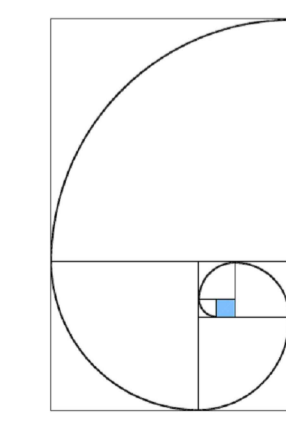


**Proposed Second Floor Plan**  
(Scale 1:50)



## BUILDING CONTROL DRAWING

Rev. C 18/02/2019 Rear Lean-to roof removed and project number corrected  
 Rev. B 22/12/2018 New internal drainage and SVP location amended to Bathroom and En-Suite. Small window to main bathroom bricked up and Section B-B lines added.  
 Rev. A 16/07/2018 Glazed Rooflight reduced to 3m x 2m on plan.



PROJECT: Proposed single storey rear extension at: -  
 Davenport Cheshire  
 DRAWING: Proposed First and Second Floor Plans

John Elliott Architectural Services  
 148 King Street  
 Dukinfield  
 Cheshire  
 SK16 4TH

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**Proposed Front Elevation (East)**  
(Scale 1:50)



**Proposed Rear Elevation (West)**  
(Scale 1:50)



**Proposed Side Elevation (North)**  
(Scale 1:50)

**BUILDING CONTROL DRAWING**

Rev. D 18/02/2019 New SVP added to rear elevation  
 Rev. C 15/02/2019 New RWP added to extension on rear elevation  
 Rev. B 22/12/2018 New Cellar window added to rear elevation. Small window to main bathroom bricked up. Stub stack added to side elevation, Rear elevation SVP removed and Section B-B lines added. Extension spanning party wall.  
 Rev. A 16/07/2018 Glazed Rooflight reduced to 3m x 2m on plan & existing Kitchen window replaced by double glazed timber French windows on proposed rear elevation

PROJECT: Proposed single storey rear extension at: -  
 Davenport  
 Cheshire

John Elliott Architectural Services  
 148 King Street  
 Dukinfield  
 Cheshire  
 SK16 4TH

DRAWING: Proposed Elevations

SCALE: 1:50 @ A1	DATE: 10.07.18.	DRAWING NO: 1802-06	REVISION: D	Mobile: 07821938400
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First Floor FFL  
 +106.387

First Floor FFL  
 +103.423

Ground Floor FFL  
 +100.000

Cellar Floor FFL  
 +97.880

Bedroom

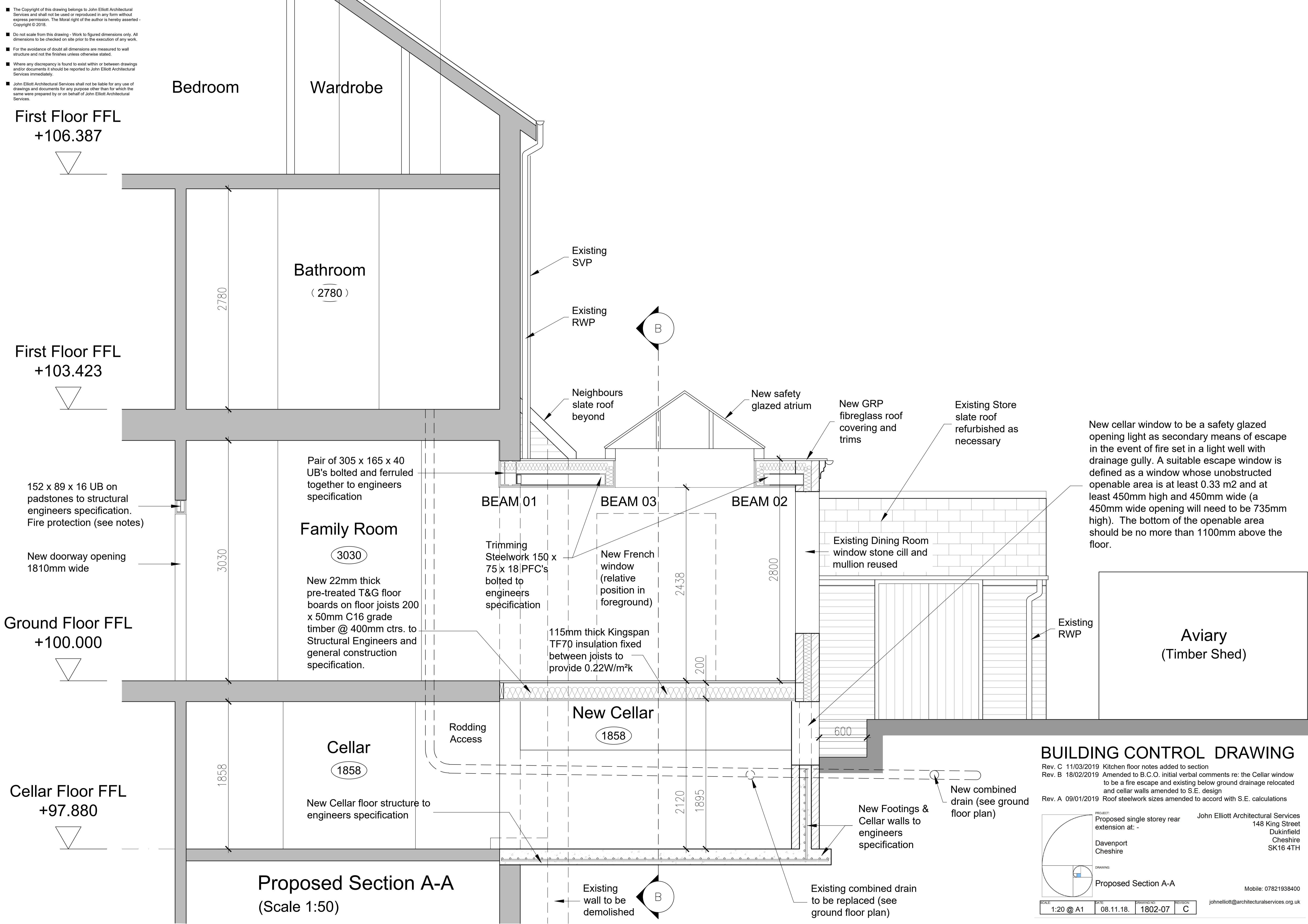
Wardrobe

Bathroom  
(2780)

Family Room  
(3030)

Cellar  
(1858)

Aviary  
(Timber Shed)



Pair of 305 x 165 x 40  
 UB's bolted and ferruled  
 together to engineers  
 specification

152 x 89 x 16 UB on  
 padstones to structural  
 engineers specification.  
 Fire protection (see notes)

New doorway opening  
 1810mm wide

New 22mm thick  
 pre-treated T&G floor  
 boards on floor joists 200  
 x 50mm C16 grade  
 timber @ 400mm ctrs. to  
 Structural Engineers and  
 general construction  
 specification.

Trimming  
 Steelwork 150 x  
 75 x 18 PFC's  
 bolted to  
 engineers  
 specification

New French  
 window  
 (relative  
 position in  
 foreground)

115mm thick Kingspan  
 TF70 insulation fixed  
 between joists to  
 provide 0.22W/m²k

New GRP  
 fibreglass roof  
 covering and  
 trims

Existing Store  
 slate roof  
 refurbished as  
 necessary

Existing Dining Room  
 window stone cill and  
 mullion reused

New cellar window to be a safety glazed  
 opening light as secondary means of escape  
 in the event of fire set in a light well with  
 drainage gully. A suitable escape window is  
 defined as a window whose unobstructed  
 openable area is at least 0.33 m² and at  
 least 450mm high and 450mm wide (a  
 450mm wide opening will need to be 735mm  
 high). The bottom of the openable area  
 should be no more than 1100mm above the  
 floor.

Rodding  
 Access

New combined  
 drain (see ground  
 floor plan)

New Footings &  
 Cellar walls to  
 engineers  
 specification

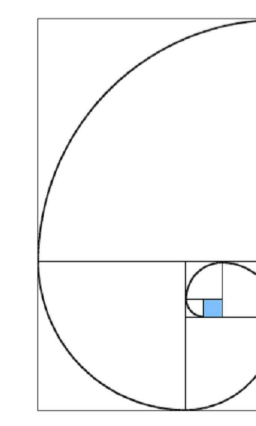
Existing combined drain  
 to be replaced (see  
 ground floor plan)

Proposed Section A-A  
 (Scale 1:50)

Existing  
 wall to be  
 demolished

**BUILDING CONTROL DRAWING**

Rev. C 11/03/2019 Kitchen floor notes added to section  
 Rev. B 18/02/2019 Amended to B.C.O. initial verbal comments re: the Cellar window  
 to be a fire escape and existing below ground drainage relocated  
 and cellar walls amended to S.E. design  
 Rev. A 09/01/2019 Roof steelwork sizes amended to accord with S.E. calculations



PROJECT:  
 Proposed single storey rear  
 extension at -  
 Davenport  
 Cheshire

John Elliott Architectural Services  
 148 King Street  
 Dukinfield  
 Cheshire  
 SK16 4TH

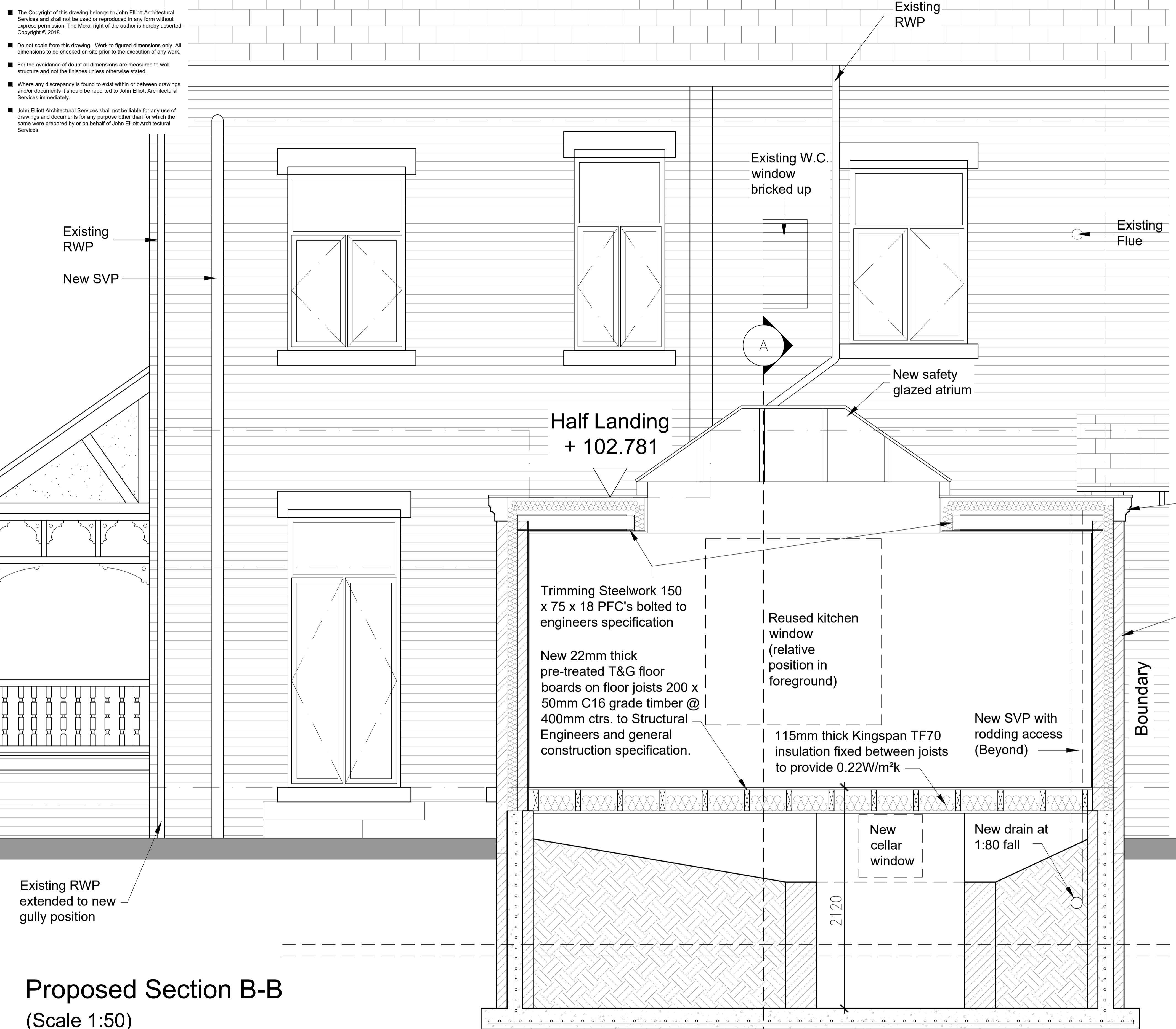
DRAWING:  
 Proposed Section A-A

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First Floor FFL  
+106.387

First Floor FFL  
+103.423

Half Landing  
+ 102.781

New GRP  
fibreglass roof  
covering and trims

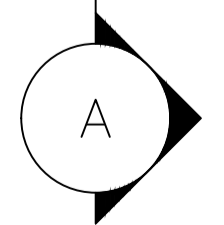
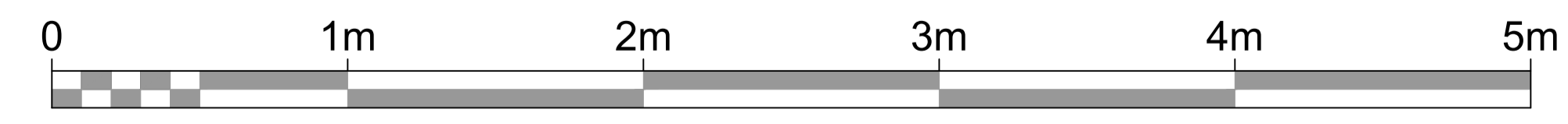
Existing boundary wall  
removed and new party  
wall built on the boundary  
for shared use with the  
neighbouring property  
when their extension is  
built. All to be agreed with  
the neighbouring property  
owner

Ground Floor FFL  
+100.000

Existing combined drain  
(to be removed and  
replaced (see plans))

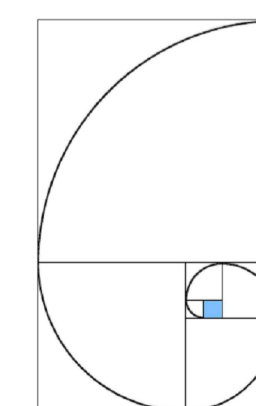
Cellar Floor FFL  
+97.880

Proposed Section B-B  
(Scale 1:50)



**BUILDING CONTROL DRAWING**

Rev. B 11/03/2019 Kitchen floor notes added to section  
 Rev. A 09/01/2019 Roof steelwork sizes amended to accord with S.E.

	PROJECT: Proposed single storey rear extension at - Davenport Cheshire	John Elliott Architectural Services 148 King Street Dukinfield Cheshire SK16 4TH
	DRAWING: Proposed Section B-B	Mobile: 07821938400 johnelliott@architecturalservices.org.uk

SCALE:	DATE:	DRAWING NO.:	REVISION:
1:20 @ A1	31.12.18.	1802-08	B